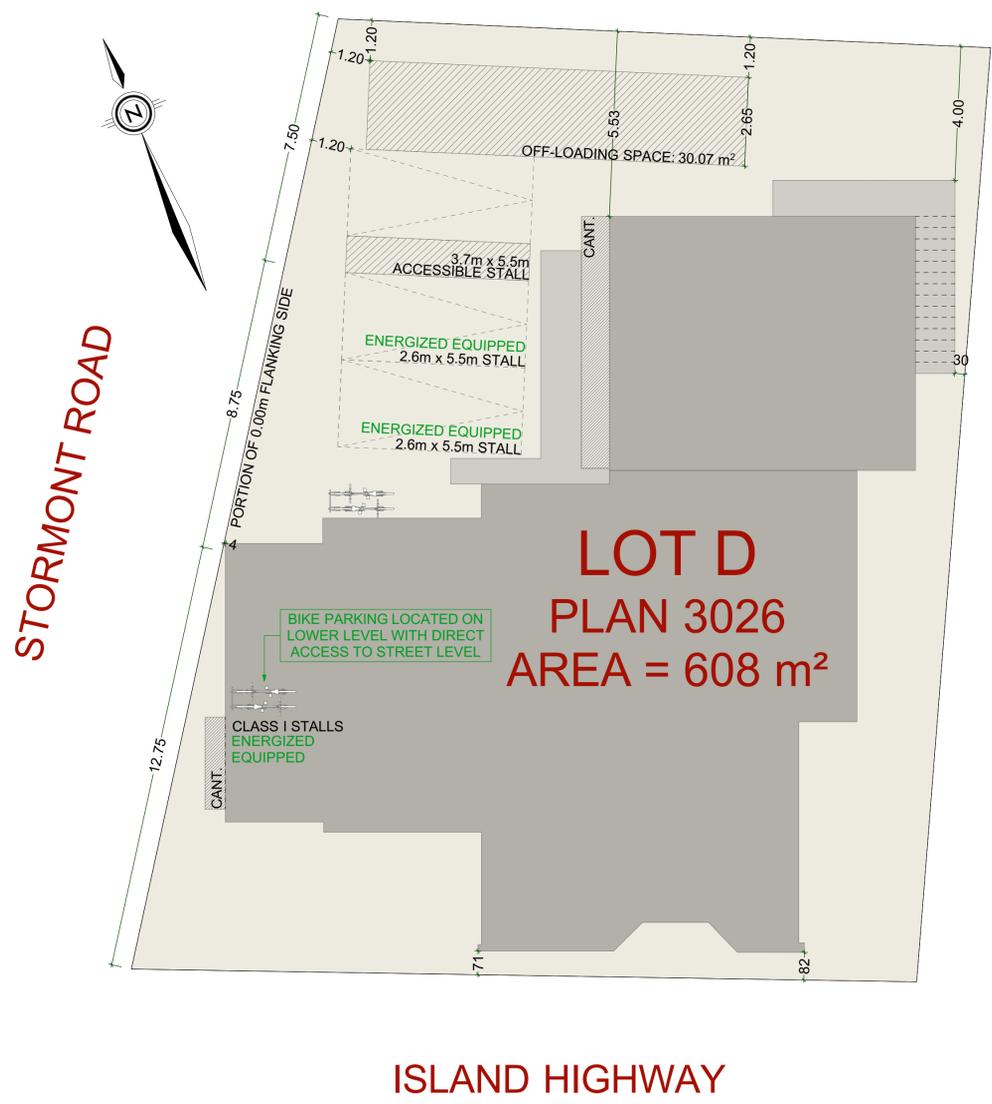


CONTEXT PLAN
SCALE: 1 : 800



SITE PLAN
SCALE: 1 : 100

| PROJECT DATA TABLE - OFFICE BUILDING | | |
|--|---|-----------------------------------|
| Address | 254 Island Highway, View Royal | |
| Lot Size | 607.80m ² (6,542.31 R ²) | |
| Zoning | CD-17 | |
| | Proposed | Allowed |
| Floor Area of the Building | | |
| Upper Floor Area | 110.45 m ² | |
| Main Floor Area | 200.61 m ² | |
| Lower Floor Area | 62.84 m ² | |
| Storage Area | 65.07 m ² | |
| Floor area, all floor levels combined | 438.97 m ² | |
| Height, Storeys | | |
| Average grade | Existing to remain | |
| Building height (maximum) | Existing to remain | 9m |
| Storeys | Existing to remain | 3 storeys |
| Setbacks, Projections | | |
| Front setback (minimum) | 0.71m | 0.00m |
| Rear setback (minimum) | 4.00m | 3.90m |
| Interior side setback (minimum) (East) | 0.30m | 0.00m |
| Flanking side setback (minimum) (West) | 0.04m | 0.00m (12.75m from P.L.) |
| Site Coverage | | |
| Site coverage (maximum) | 51.67% 314.05m ² | 52% 316.06m ² |
| Parking | | |
| *Required vehicle stalls | 2 | 15 |
| Required energized vehicle stalls | 2 | 2 |
| Required accessible stalls | 1 | 1 |
| Required off-loading area | 30.07m ² 2.65m wide | 30m ² min 2.5m wide |
| Class I - Energized bicycle stalls | 2 | 2 |
| Class II - Bicycle stalls | 2 | 2 |

* VARIANCE REQUIRED

| | | | | | | | | |
|--|---|---|--|--|---|---|---|--|
| <p>ENERGY STEP CODE</p> <p>OWNER TO CONSULT AND ENGAGE AN ENERGY ADVISOR FOR MODELING BUILDING EFFICIENCY. REPORT MUST BE PROVIDED TO DESIGNER TO CONFIRM CONSTRUCTION ASSEMBLIES PRIOR TO BUILDING PERMIT SUBMISSION. ENERGY REPORT TO INCLUDE REQUIRED LEVEL OF ENERGY STEP CODE BASED ON REQUIREMENT OF LOCAL AUTHORITY HAVING JURISDICTION.</p> | <p>GENERAL NOTES</p> <p>ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE AS WELL AS ANY LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE.</p> <p>ALL MEASUREMENTS MUST BE VERIFIED ON SITE BY BUILDER PRIOR TO CONSTRUCTION, AND ANY DISCREPANCIES REPORTED TO THE DESIGNER. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.</p> <p>DRAFTED ELEMENTS ARE FRAMED ONLY. NO ALLOWANCES HAVE BEEN ADDED FOR FINISHING ELEMENTS SUCH AS BUT NOT LIMITED TO G.W.B. CLADDING, SHEATHING, ETC.</p> <p>-SMOKE DETECTORS SHALL BE PROVIDED ON EVERY FLOOR</p> | <p>SITE PLAN</p> <p>ALL LAYOUTS SHOULD BE CONFIRMED BY A REGISTERED B.C. LAND SURVEYOR. ALL SETBACKS SHALL BE CONFIRMED BY THE OWNER/BUILDER.</p> <p>ALL GRADE ELEVATIONS ARE THE RESPONSIBILITY OF THE OWNER/BUILDER AND ANY MODIFICATIONS ARE TO BE MADE ON SITE.</p> <p>CONFORMITY OF THESE PLANS TO THE ACTUAL SITE IS THE RESPONSIBILITY OF THE OWNER/BUILDER.</p> <p>CONCRETE AND FOUNDATIONS</p> <p>ALL CONCRETE FOOTINGS TO HAVE SOLID BEARING ON COMPACTED, UNDISTURBED INORGANIC SOIL TO A SUITABLE DEPTH BELOW FROST PENETRATION.</p> | <p>IF SOFTER CONDITIONS APPLY, THE SOLID BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER. GARAGE & CARPORT FLOORS AND EXTERIOR STEPS SHALL NOT BE LESS THAN 32 MPa.</p> <p>FOUNDATION CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 2800 psi (20MPa) AT 28 DAYS, MIXED, PLACED AND TESTED IN ACCORDANCE WITH CAN3-A438.</p> <p>ALL WALLS ARE 8" CONCRETE UNLESS OTHERWISE NOTED.</p> <p>ALL GRADES ARE ESTIMATED ONLY AND SHALL BE ADJUSTED ON SITE.</p> <p>ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED OR SEPARATED BY A MOISTURE RESISTANT GASKET MATERIAL.</p> | <p>LUMBER, FRAMING, AND BEAMS</p> <p>BUILDING FRAMES TO BE ANCHORED TO FOUNDATION BY FASTENING SILL PLATE TO FOUNDATION WITH NOT LESS THAN 12.7mm DIAM ANCHOR BOLTS AT NOT MORE THAN 2.4M O.C.</p> <p>ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.</p> <p>ALL SPANS SHALL CONFORM TO THE TABLES SET OUT IN "THE SPAN BOOK" AND THE NATIONAL BUILDING CODE OF CANADA AND VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER.</p> | <p>TRUSSES</p> <p>TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, INCLUDING ALL BRACING.</p> <p>ROOFING</p> <p>ALL ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPECIFICATION AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMS AND SNOW BUILD UP.</p> <p>PLUMBING & ELECTRICAL</p> <p>ANY ELECTRICAL SHOWN ON PLANS IS TO SERVE AS A GUIDE ONLY AND MUST BE INSTALLED BY A QUALIFIED PERSONNEL.</p> | <p>FLASHING</p> <p>-ALL EXPOSED OPENINGS SHALL BE PROVIDED WITH ADEQUATE FLASHING.</p> <p>ALL ROOFING SHALL INCORPORATE STEP FLASHING.</p> <p>ALL PENETRATIONS THROUGH ROOF SHALL INCLUDE APPROPRIATE FLASHING.</p> <p>DOORS - ROUGH OPENING SIZES</p> <p>FRAME OPENING 1 1/4" WIDER THAN DOOR.</p> <p>FRAME HEIGHT 83" FOR EXTERIOR DOORS AND 82.5" FOR INTERIOR DOORS.</p> <p>ANY ELECTRICAL SHOWN ON PLANS IS TO SERVE AS A GUIDE ONLY AND MUST BE INSTALLED BY A QUALIFIED PERSONNEL.</p> | <p>MISC.</p> <p>CARBON MONOXIDE ALARMS TO BE HARDWIRED AND WITHIN 5M OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS.</p> <p>CARBON MONOXIDE ALARMS TO CONFORM TO CSA 6.19</p> | <p>NEITHER JAVA DESIGNS INC. NOR THE DESIGNER ACCEPT RESPONSIBILITY FOR THE FOLLOWING:</p> <ul style="list-style-type: none"> -INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE. -CONFORMITY OF PLANS TO SITE. -ERRORS AND OMISSIONS. -ANY STRUCTURE BUILT FROM THESE PLANS. |
|--|---|---|--|--|---|---|---|--|

ADDRESS: 254 ISLAND HWY, VIEW ROYAL
CUSTOMER: WHITE WOLF HOMES

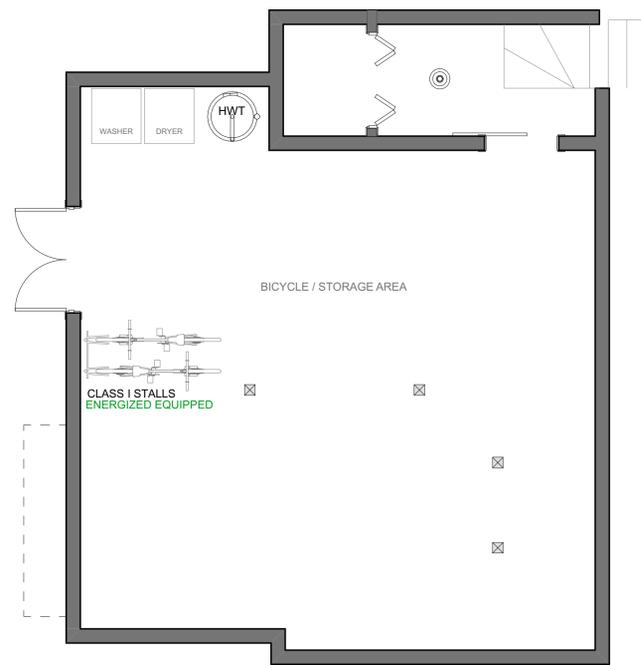
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DRAWING SCALE: SEE DRAWINGS

ISSUE DATE: MAR 09, 2026
DRAWN BY: NS
CHECKED BY: KL

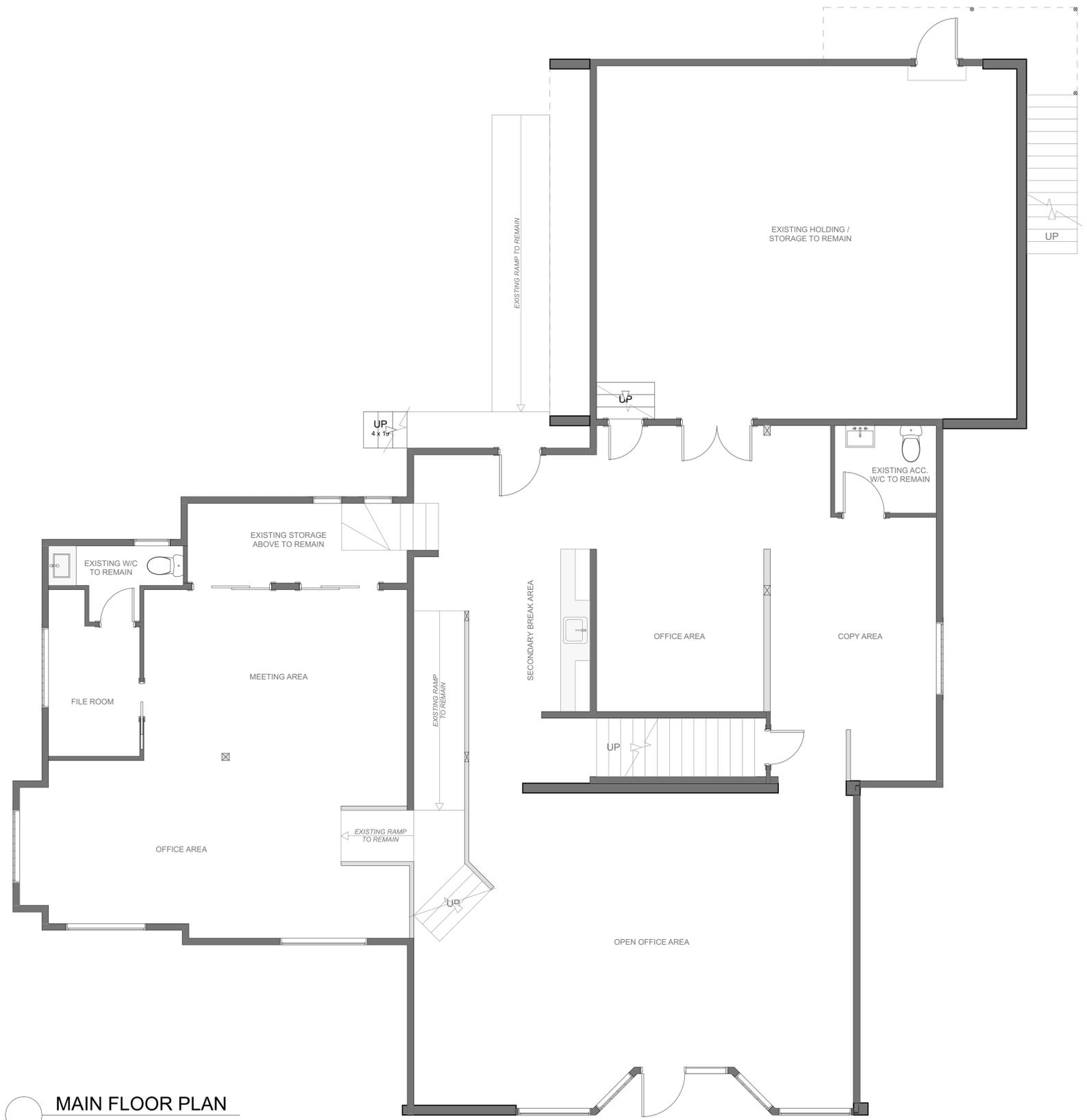
102 - 2871 JACKLIN ROAD
VICTORIA BC V9B 0P3
JAVADESIGNS.CA
o. 250.590.2468



SHEET NUMBER
A1



BASEMENT FLOOR PLAN
 BASEMENT FLOOR AREA: 62.84 m²



MAIN FLOOR PLAN
 MAIN FLOOR AREA: 200.61 m²
 HOLDING/STORAGE AREA: 65.07 m²

ADDRESS:
254 ISLAND HWY, VIEW ROYAL
 CUSTOMER:
WHITE WOLF HOMES

DRAWING NAME:
BASEMENT AND MAIN FLOOR PLANS
 DRAWING SCALE:
SEE DRAWINGS

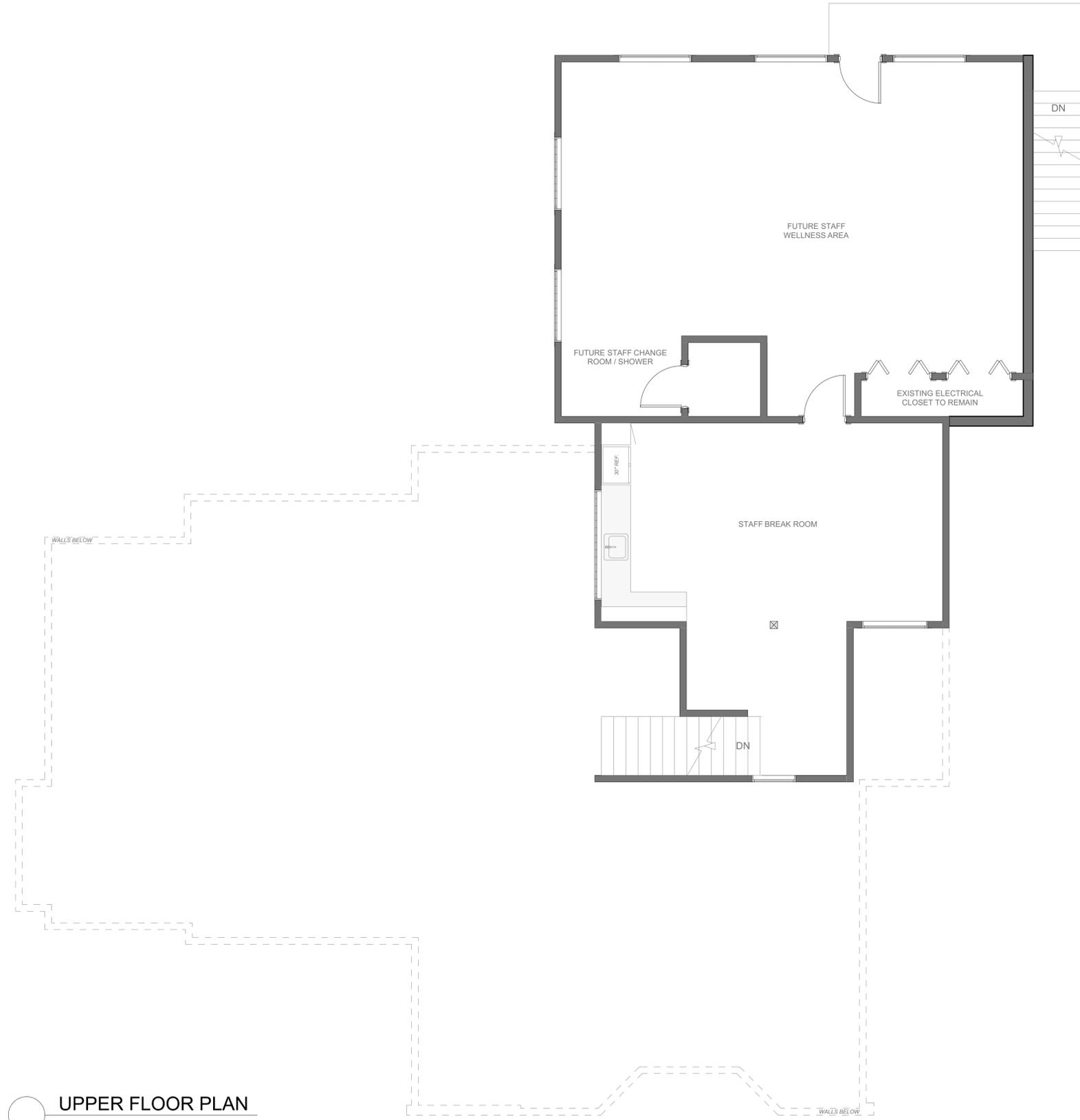
ISSUE DATE:
MAR 09, 2026
 DRAWN BY:
NS
 CHECKED BY:
KL

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JAVADESIGN.S.CA
 o. 250.590.2468



SHEET NUMBER
A2

○ UPPER FLOOR PLAN
 0 1 2 3 4 5
 UPPER FLOOR AREA: 110.45 m²



SHEET NUMBER

A3



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UPPER FLOOR PLAN
 DRAWING SCALE:
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ADDRESS:
254 ISLAND HWY, VIEW ROYAL
 CUSTOMER:
WHITE WOLF HOMES